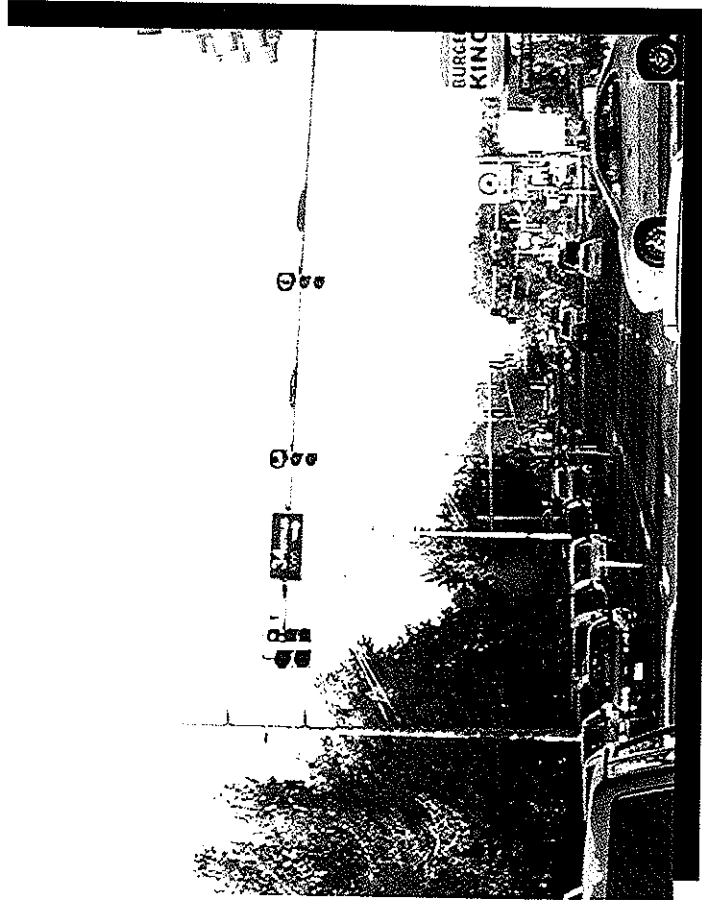


STREETSCAPE STANDARDS



'Before'



'After'



Carter=Burgess

Introduction

The purpose of this document is to develop a range of treatment options for perimeters and medians located within the City of Greeley rights-of way (ROW.) Developing a set of standards for both the aesthetic and functional elements located within the ROW will create a consistent framework for residents and visitors. This document uses the *1994 Entryway Master Plan* as a starting point for developing these standards.

The medians are those areas that physically separate opposing directions of traffic. Aesthetically, the medians will serve to provide plantings, entry monumentation and paving patterns. The entry monuments will serve a variety of scales, from city entries to neighborhood or district identification. Planting in the medians will take into consideration; cost, safe access for maintenance personnel, maintenance occurrence, water consumption and year around appearance and aesthetics. Paving in the medians should not distract from safe vehicle operation or conflict with Manual of Uniform Traffic Control Devices (MUTCD) standards. However, the paving can provide interest, color and establish theme alternatives for distinct neighborhood and districts.

The perimeters are those areas located behind the curb to the ROW line usually including an amenity zone, sidewalk and occasionally planting or landscape (tree lawns). The amenity zone is that area adjacent to the curb which accommodates signs, lights, benches, trash receptacles and trees.

The street types evaluated consist of expressways, major arterials, minor arterials and major collectors located within the City of Greeley limits and as defined in the *Greeley Comprehensive Transportation Plan*. At present the street ROW, sidewalk, tree lawns and median configuration may vary considerably from street to street. This document develops a set of standards for travel corridor improvements and provides recommendations dimensionally by street type and land use. Land uses have been classified in three categories;

- residential
- business, commercial and retail
- industrial

These standards are to be used throughout the city on new and rehabilitated areas. In some cases other existing codes or standards may be in conflict with these standards. In that case a compromise may be necessary.



Introduction (Continued)

A kit of parts that consists of plantings, fencing, walls, lighting, sidewalks, signage and streetscape furnishings has been developed. The kit of parts was used to develop three theme alternatives.

The medians and perimeters will provide consistency throughout the city with the repeated use of lighting, benches, trash receptacles and signage identified in the city standards. Individual identity for neighborhoods, commercial/retail districts and industrial areas will be achieved through the use of landscape materials, median treatment hardscape and monuments. Implementation of art should occur whenever possible and appropriate.

Standard furnishings shall be as noted in the *Entryway Master Plan*. All plant materials and irrigation shall comply with City Parks Department and Forestry requirements.

For this document xeric landscape is intended to reference the seven basic principles of xeric landscaping. For more information please visit www.xeriscape.org. Recommended plant resources: X Rated Plant List www.xratedgardening.com, Plant Select www.ext.colostate.edu

For each installed landscape the City will require a maintenance program be developed that is appropriate for the specified plant material. Emphasis will need to be placed more toward a management program instead of a maintenance program.

Primary goals of this document are to create:

- a unique identity for Greeley
- theme alternatives for median design
- theme alternatives for perimeter design
- a pedestrian and bicycle friendly environment
- a pleasing motoring experience

This document is to be used as a guide for city officials, developers, builders, designers and planners for future development along these defined travelways.



Entryway Classification

In support of *Entryway Master Plan* this document is focused on medians and perimeters. Treatment for medians and perimeters shall be based on theme alternatives identified for specific entryways, for example, medians and corner monuments and planting should follow and support those specific themes for entries. Entryways offer the first impression a visitor gets when entering Greeley; providing the visitor a visual introduction to the community. All entryway locations and descriptions were based on information taken from the *Entryway Master Plan*.

Entryway Type 1- Type 1 is a primary entryway located on the US 34 interchange west of town immediately west of SH 257. This entryway would be large in scale and utilize City of Greeley identification monuments, art and a large scale landscaping statement to signify the main entry to Greeley.

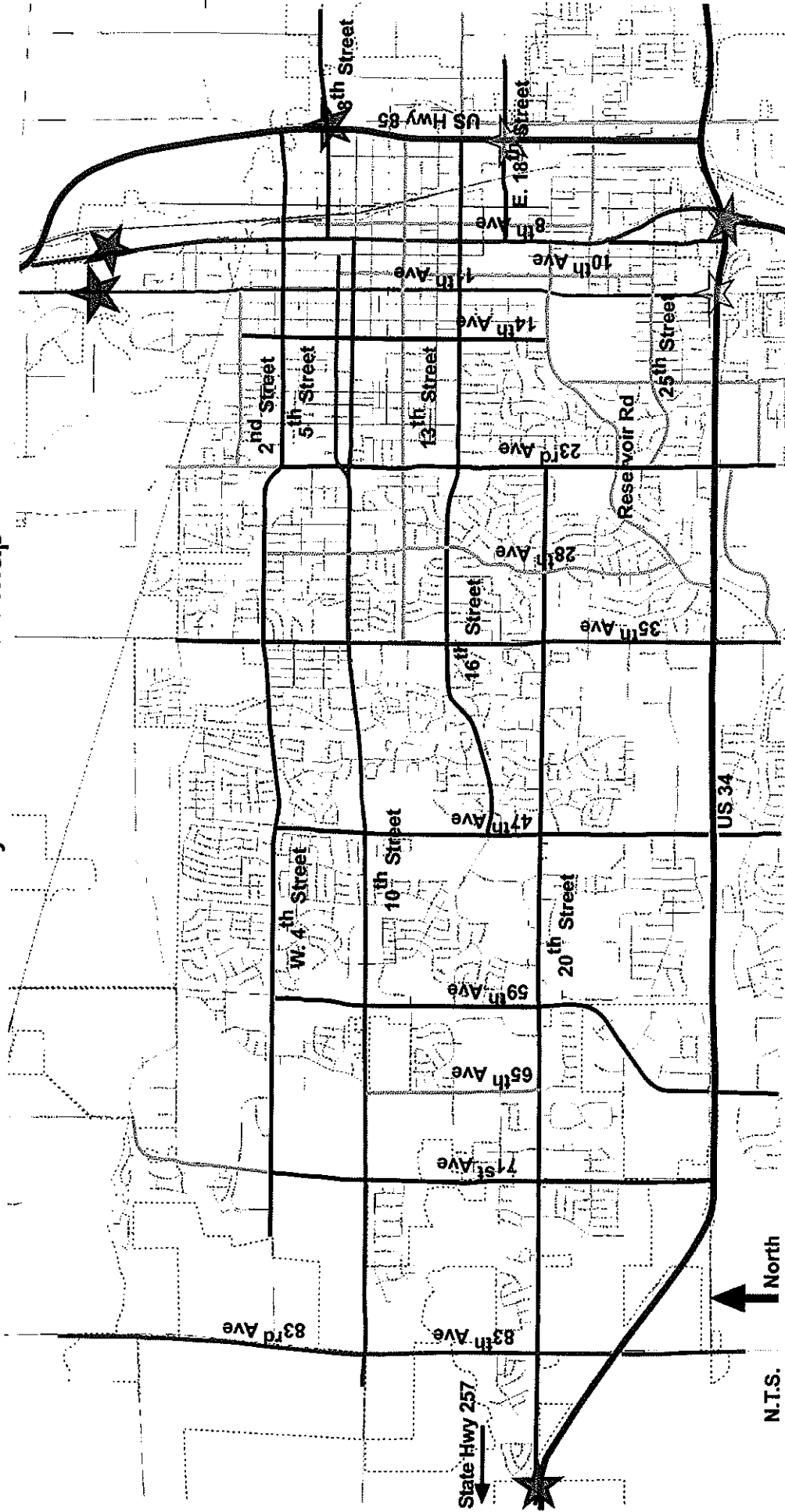
Entryway Type 2- Type 2 is a secondary entryway located at the interchange of US 34 and US 85 and 83rd Ave/Hwy 34 bypass. This entryway would be large in scale and utilize monuments, art, signage and landscaping to signify an entry to Greeley.

Entryway Type 3- Type 3 will be located at US 85 and 8th Street, 11th Avenue and H Street and 8th Avenue and H Street. These entryways will be treated as a focal point of interest and will utilize speciality paving, landscaping treatments such as trees, shrubs, flowers and ground covers, walls and monuments. Intersections at this location should be pedestrian and bicycle friendly wherever possible.

Entryway Type 4- Type 4 will be located at the US 85 Bypass and east 18th Street and at the US 34th Bypass and 11th Avenue. These entryways will be treated similar to Type 3. They will act as a focal point of interest and will utilize speciality paving, landscaping treatments such as trees, shrubs, flowers and ground covers, walls and monuments. Intersections at this location should be pedestrian and bicycle friendly wherever possible.



Roadway Classification Map



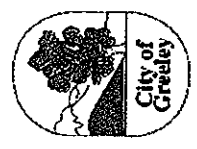
Legend

Road Classification:

- Expressway - CDOT
- Major Arterial
- Minor Arterial
- Major Collector

Identified Future Entryway Locations:

- Type 1
- Type 2
- Type 3
- Type 4



Carter Burgess

Roadway Classification

In order to develop treatment options for the perimeters and medians it is first important to understand the varying roadways and adjacent land uses. The following is a short description of the four types of roadway classifications as identified in *The Greeley Comprehensive Transportation Plan- Executive Summary*.

Expressway

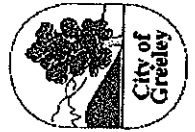
Expressways primarily serve long distance travel between major communities. Expressways are partially access-controlled highways designed for high speed travel for the sole purpose of facilitating traffic flow with minimal obstruction from cross traffic. These streets provide the greatest mobility, with strictly controlled access allowed only at interchanges or major intersections. Expressways are state highways and must meet Colorado Department of Transportation standards.

Major State Expressways are:

- US 34 Bypass
- US 85



US 34



Roadway Classification

Major Arterial

Major arterials are designed to carry longer distance heavy traffic flow between important activity centers while providing limited access to abutting property. Cross traffic is accommodated with at-grade intersections with and without traffic signals.

Major Arterials are:

- 8th Avenue
- 35th Avenue
- 83rd Avenue
- 9th Street (State Highway)
- 10th Street (State Highway)
- Two Rivers Parkway (south of Hwy 34 bypass)
- CR 17
- "O" Street

Minor Arterial

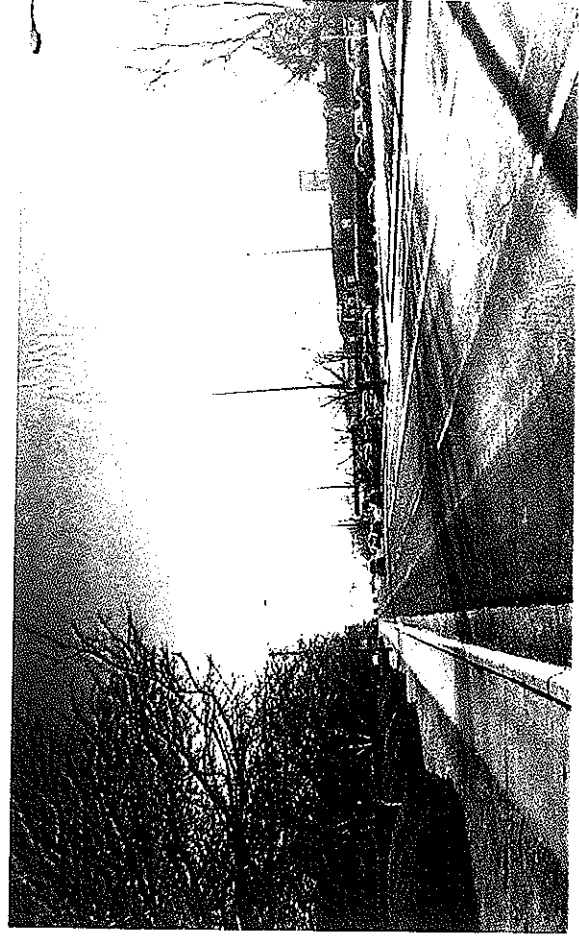
Minor Arterials are designed both to carry traffic and provide access to abutting property. Cross traffic is accommodated with at-grade intersections with or without traffic signals. Minor arterials augment the major arterial system.

Minor Arterials are:

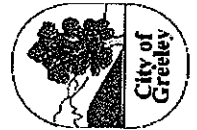
- 11th Avenue
- 14th Avenue
- 23rd Avenue
- 47th Avenue
- 59th Avenue
- 59th Avenue/ 65th Avenue
- 71st Avenue
- 5th Street
- 16th Street
- 18th Street
- West 20th Street
- 8th Street (8th Ave.-Hwy 85 bypass)



10th Street at 49th Avenue



23rd Avenue at 22nd Street



Roadway Classification

Major Collector

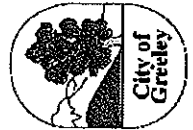
Collector roads link local streets with the arterial street system. Both mobility and access take equal precedence on major collector roadways. Travel speeds and volumes are moderate and distances traveled are short to medium and provide for intercommunity traffic movements, such as connections between city centers, schools and neighborhoods.

Major Collectors are:

- Balsam Avenue
- 1st Avenue
- 7th Avenue
- 10th Avenue
- 28th Avenue
- 71st Avenue (north of SH 34 bypass)
- "F" Street
- 2nd Street
- 4th Street
- 13th Street
- Reservoir Road
- 25th Street
- West 29th Street
- Center Place Drive



28th Avenue Example of Major Collector



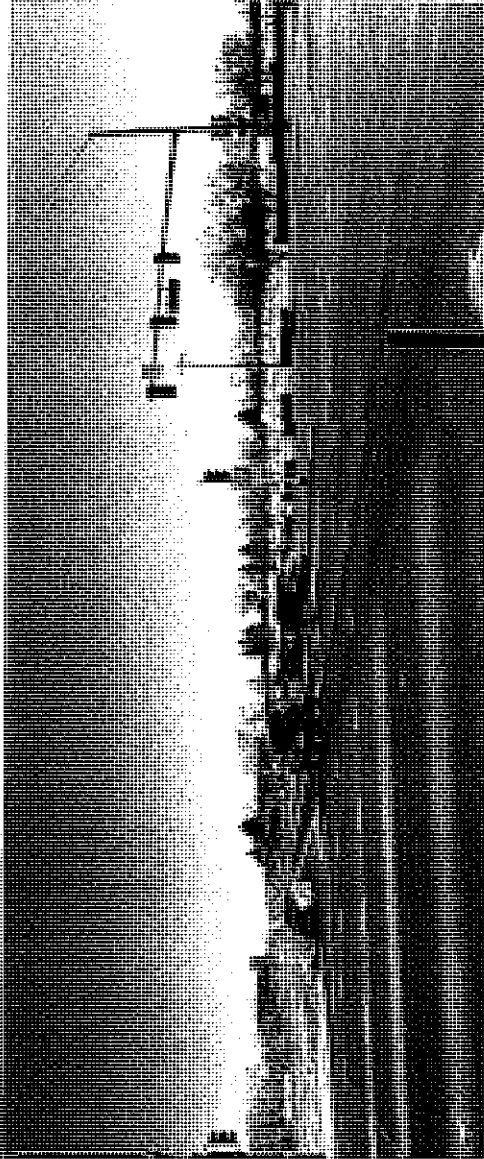
Existing Conditions: Expressways



US 34 (looking east @ 35th Ave)

Existing Conditions Analysis

- Expressway
- 4 travel lanes
- Wide median planted with turf cover
- Land use is immediately adjacent to expressway
- No street lighting
- No pedestrian lighting
- No pedestrian/bike facilities



Intersection of US 34 and 35th Avenue looking East on US 34

Existing Conditions Analysis

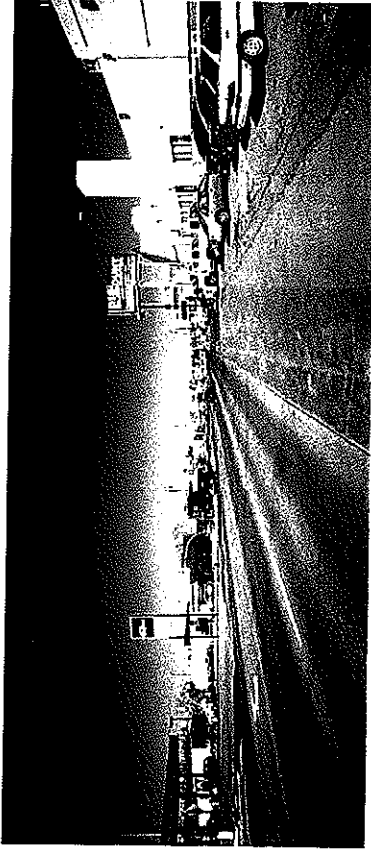
- Expressway
- 4 travel lanes with 2 turn lanes
- Pedestrian crossing at light is wide and intimidating
- Decorative wall provides limited visual barrier between the expressway and adjacent land uses



Existing Conditions: Major Arterials

Existing Conditions Analysis

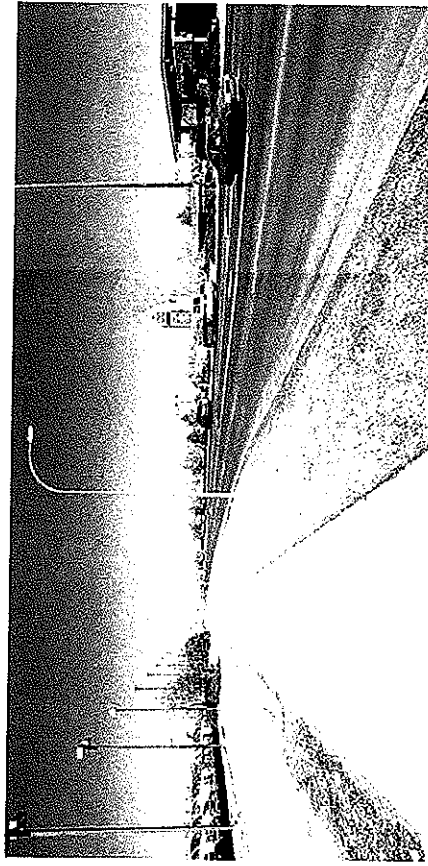
- Major Arterial
- 4 travel lanes with a continuous turn lane
- No sidewalk for pedestrians
- Dangerous parking configuration that requires cars to back onto busy arterial
- Multiple curb cuts
- Street lighting is provided
- No pedestrian lighting or streetscape amenities



8th Avenue (looking north)

Existing Conditions Analysis

- Major Arterial
- 4 travel lanes with a turning lane at the intersections
- Detached sidewalk and tree lawn
- No street trees or plantings in the tree lawn
- Street lighting is provided
- No pedestrian lighting or streetscape amenities



35th Avenue (looking north)

Existing Conditions Analysis

- Major Arterial
- 4 travel lanes
- Median with stamped concrete splash strip and plantings
- 5'-0" attached sidewalk
- Multiple curb cuts
- Street lighting is provided
- No pedestrian lighting
- Limited pedestrian/bike facilities



10th Street (looking west)



Existing Conditions: Minor Arterials



Existing Conditions Analysis

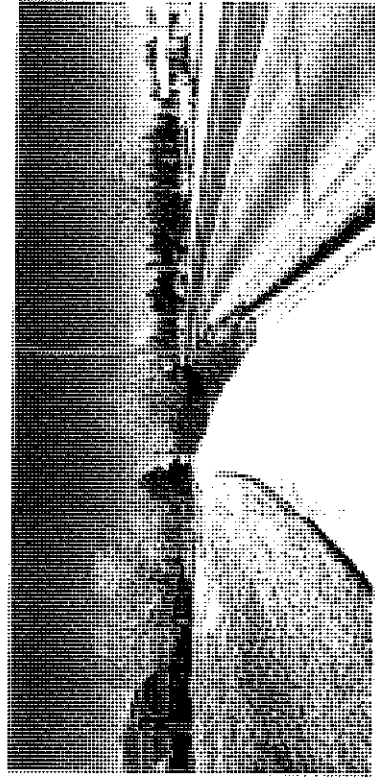
- Minor Arterial
- 4 travel lanes with 1 turn lane
- Attached sidewalk with trees in tree grates
- Buildings proximity to street edge creates a good streetscape environment
- Street lighting is provided
- Narrow concrete median divider
- No pedestrian lighting
- A few street trees and plantings exist in tree lawn



20th Street (looking west @ 28th Ave.)

Existing Conditions Analysis

- Minor Arterial
- 4 travel lanes with 1 turning lane
- Median with vertically angled stamped concrete splash strip and groundcover
- Street lighting is provided
- No pedestrian lighting
- Ample pedestrian crossing area due to median crossing area



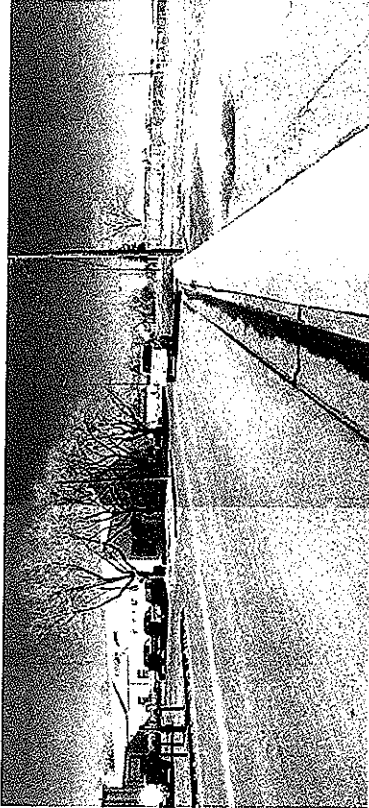
20th Street (looking west @ 35th Ave)

Existing Conditions Analysis

- Minor Arterial
- 4 travel lanes with 2 turning lanes
- 5'-0" attached sidewalk transitioning into detached sidewalk with tree lawn
- Street lighting is provided
- No Pedestrian lighting and streetscape amenities
- Xeric landscape planting provided in tree lawn
- Hardscape median with decorative concrete



Existing Conditions: Major Collector



Looking West on 2nd Street near 14th Avenue

Existing Conditions Analysis

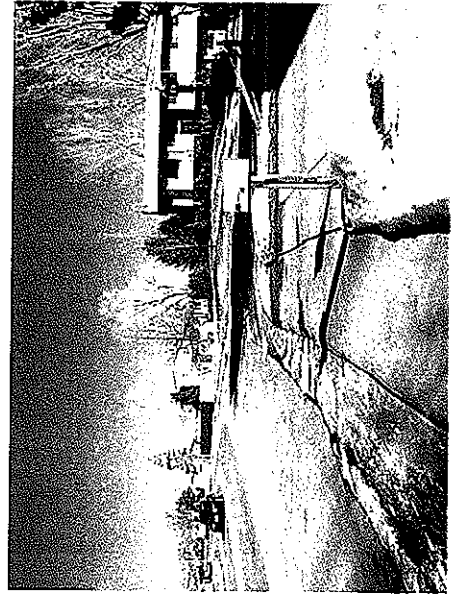
- Major Collector
- 2 travel lanes
- 5'- attached sidewalk
- No pedestrian or street lighting
- No streetscape amenities
- Utilities are above ground



22nd Street near 8th Avenue (looking west)

Existing Conditions Analysis

- Major Collector
- 4 travel lanes
- 5'- detached sidewalk with stamped colored concrete adjacent to curb
- No pedestrian lighting
- No street trees or plantings
- Street lighting is provided



28th Avenue (looking west)

Existing Conditions Analysis

- Major Collector
- 2 travel lanes
- 5'- attached sidewalks
- On-street parking
- Designated on street bike lane
- No Pedestrian lighting or street lighting

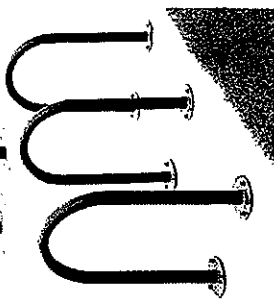
Kit of Parts

The kit of parts creates the graphic dictionary for all future design to be applied to medians, corners and perimeters of expressways, major arterials, minor arterials and major collectors within the City of Greeley. The graphic dictionary provides a full family of streetscape elements with specific direction on what land uses it is appropriate to use these streetscape elements and where they should be placed dimensionally. This creates a consistency and a hierarchy of streetscape improvements for each land use and each application within the land use. Streetscape elements will include lights, street trees, landscape enhancements, sidewalks, benches, trash receptacles, bike racks, bollards, planter pots, speciality paving, walls, irrigated landscape, xeric landscape and earthwork.

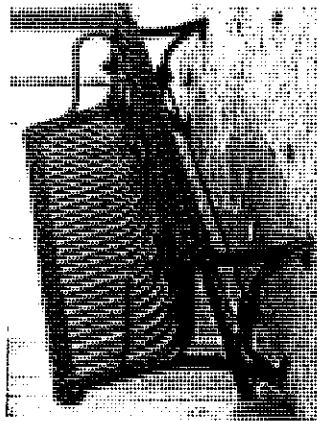
The kit of parts will provide a base for imagery and components that will translate into streetscape theme alternatives that create a distinct identity for the commercial, business, retail district, residential district and industrial district. Three alternative concepts for each land use type have been developed.

Distinct characteristics of each alternative will provide identity for districts and neighborhoods thru the use of median hardscape, landscape materials and individual monumentation.

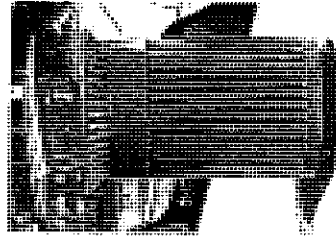
The City of Greeley standard for pedestrian lights, trash receptacles, benches, bollards, planters and tree grates shall be utilized in all theme alternatives. See the *Entryway Master Plan* for specific names of products and distributors.



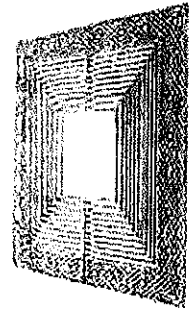
City of Greeley
standard Bike Rack



City of Greeley standard Bench



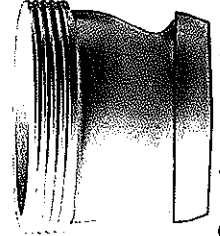
City of Greeley standard
Trash Receptacle



City of Greeley standard
Tree Grate 4' x 4'



City of Greeley standard
Pedestrian Light



City of Greeley standard
Planter



Streetscape Guidelines for Kit of Parts for: Commercial, Business, Retail

Street Lights: Locate on each corner at intersections and at standard spacing between intersections. Street lights should be staggered on each side of the street. Locate a minimum of 2'-6" from face of curb in amenity zone (the amenity zone is that area immediately of back of curb that contains lights, signs, etc.) Amenity zones need to be 10'-0" if they include trees. In medians, streetlights should be located at standard spacing staggered between streetlights located in the amenity zone.

Pedestrian Lights: Pedestrian lights are City standard. Locate 30'-0" on center in downtown business district and elsewhere 50'-0" on center. Locate a minimum of 2'-6" from face of curb in amenity zone. All planted medians are to include waterproof receptacles on photocell for holiday lighting.

Street Trees: Locate shade trees 35'-0" on center and ornamental trees 25'-0" on center. Locate a minimum of 25'-0" from intersection in order to provide safe vehicular sight distance. Locate a minimum of 2'-6" from face of curb in amenity zone. On major arterials, minor arterials and major collectors 10'-0" or wider locate trees in medians. Medians located in expressways must have 20'-0" clearance from edge of road to center of tree. Where 20'-0" clearance is provided locate trees in masses. A mass of trees consist of 3-8 trees grouped at approximately 10'-0" spacing. The amenity zone should be a minimum of 10'-0" wide to accommodate street trees.

Shrubs: Consider shrubs or dwarf tree species for smaller areas that cannot support trees.

Landscape Enhancements: In special focus areas provide enhanced landscaping such as shrubs, perennials and annuals in planters. In medians wider than 6'-0", located in downtown business district and other focal business areas, provide enhanced landscaping such as shrubs, perennials and annuals, irrigated by drip systems. All planters are to be self watering with reservoir or drip irrigated.

Sidewalks: Sidewalks shall be a minimum of 5'-0" of unobstructed walkway. A detached sidewalk width of 8'-0" to 10'-0" is preferred allowing for a 10'-0" amenity zone to include trees in tree grates, pedestrian lights, streetlights and street furniture where appropriate.

Benches: Benches are city standard. Benches shall be placed in the amenity zone in areas where people congregate at transit stops. Benches should be placed a minimum of 2'-6" from face of curb.

Trash Receptacles: Trash receptacles are City standard. Trash receptacles shall be placed in those areas where benches are located or other areas where people tend to congregate.



Streetscape Guidelines for Kit of Parts for: Commercial, Business, Retail Continued

Bike Racks: Bike Racks are City standard. Bike racks shall be placed in the amenity zone in areas where people tend to congregate. Bike racks should be placed a minimum of 2'-6" from face of curb.

Tree Lawn: The area (10'-0" minimum for tree lawns to accommodate spray irrigation) between the detached sidewalk and the curbline. This area must have year around appeal.

Bollards: Bollards should be located only in those areas where they are necessary to restrict vehicular traffic. Bollard spacing should be a minimum of 3'-6" and should comply with ADA requirements. Bollards shall be placed a minimum of 2'-6" from the face of curb.

Planter Pots: Planter pots are City standard. Planter pots are to be placed only in those areas where space permits or in areas in areas of high pedestrian concentration. They should be placed between the face of curb and the adjacent sidewalk. Planter pots should be supplied with drip irrigations or develop future City standard that includes reservoir.

Special Paving: Special paving should occur at intersections which allow pedestrian cross movements. Special paving should occupy the entire intersection from cross walk to cross walk, to distinguish it from the rest of corridor as a special place. Special paving should occur in special focus areas such as the downtown business district. Materials like brick or colored concrete should be utilized.

Screen walls/ Railings: Locate in areas that will provide screening such as parking lots, trash dumpsters and other unsightly areas. Screen hedges, masonry and ornamental metal railings can be used. Screen walls should complement adjacent architecture. Masonry walls and ornamental metal railings shall be designed to prevent skateboarders from riding on them.

Irrigated Landscape: In focus areas landscaping provided in median of expressways, major arterials, minor arterials and major collectors should be irrigated. All tree lawns planted with turf must be a minimum of 10'-0" to accommodate spray irrigation. If less than 10'-0" utilize drip irrigation system. All irrigation must be central control compatible.

Xeric Landscape: Landscaping in the medians and perimeters of expressways that are not focus areas should utilize xeric landscaping. Designated medians on major arterials, minor arterials and major collectors should utilize xeric landscaping where feasible. Xeric landscaping will require supplemental irrigation.



Streetscape Guidelines for Kit of Parts for: Commercial, Business, Retail Continued

Earthwork: Locate earthwork mounds and depressions that drain in the medians of expressways and on the perimeters where screening is required. Depressions shall be areas no less than 200 s.f. graded with a maximum 6:1 side slopes. A maximum slope of 6:1 is allowed for earthwork mounds in order to prevent mulch and irrigation run-off. Areas must drain.

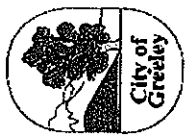
Monuments: Two scales of monuments have been developed. Large scale monuments shall be located at district boundaries or entries with small scale monuments located at opportunity locations (ie. bumpouts and medians).



Kit of Parts Matrix for: Commercial, Business, Retail

	Expressway	Major Arterial	Minor Arterial	Major Collector
Medians				
Street Lights	■ ●	■ ●	■ ●	
Pedestrian Lights	■ ●	■ ●	■ ●	
Street Trees	■ ●	■ ●	■ ●	
Irrigated Landscape	■ ●	■ ●	■ ●	
Xeric Landscape	■ ●	■ ●	■ ●	
Bollards	■ ●	■ ●	■ ●	
Planter Pots	■ ●	■ ●	■ ●	
Enhanced Paving Material	■ ●	■ ●	■ ●	
Earthwork	■ ●	■ ●	■ ●	
Screen Walls/Railings	■ ●	■ ●	■ ●	
Corners				
Street Lights	■ ●	■ ●	■ ●	■ ●
Pedestrian Lights	■ ●	■ ●	■ ●	■ ●
Street Trees	■ ●	■ ●	■ ●	■ ●
Landscape Enhancement	■ ●	■ ●	■ ●	■ ●
Sidewalks	■ ●	■ ●	■ ●	■ ●
Benches	■ ●	■ ●	■ ●	■ ●
Bike Racks	■ ●	■ ●	■ ●	■ ●
Trash Receptacles	■ ●	■ ●	■ ●	■ ●
Bollards	■ ●	■ ●	■ ●	■ ●
Planter Pots	■ ●	■ ●	■ ●	■ ●
Special Paving	■ ●	■ ●	■ ●	■ ●
Screen Walls/Railings	■ ●	■ ●	■ ●	■ ●
Perimeters				
Street Lights	■ ●	■ ●	■ ●	■ ●
Pedestrian Lights	■ ●	■ ●	■ ●	■ ●
Street Trees	■ ●	■ ●	■ ●	■ ●
Irrigated Landscape	■ ●	■ ●	■ ●	■ ●
Xeric Landscape	■ ●	■ ●	■ ●	■ ●
Sidewalks	■ ●	■ ●	■ ●	■ ●
Benches	■ ●	■ ●	■ ●	■ ●
Bike Racks	■ ●	■ ●	■ ●	■ ●
Trash Receptacles	■ ●	■ ●	■ ●	■ ●
Bollards	■ ●	■ ●	■ ●	■ ●
Planter Pots	■ ●	■ ●	■ ●	■ ●
Special Paving	■ ●	■ ●	■ ●	■ ●
Earthwork	■ ●	■ ●	■ ●	■ ●
Street Furniture Associated w/Transit Stop	■ ●	■ ●	■ ●	■ ●
Screen Walls/Railings	■ ●	■ ●	■ ●	■ ●

■ Recommended
 ● Where appropriate (Cost and R.O.W.)



Streetscape Guidelines for Kit of Parts for: Residential

Street Lights: Locate on each corner at intersections and at standard spacing between intersections. Street lights should be staggered on each side of the street. Locate a minimum of 2'-6" from face of curb in amenity zone. In medians streetlights should be located at standard spacing staggered between streetlights located in the amenity zone.

Pedestrian Lights: Pedestrian lights are City standard. Locate 50'-0" on center. Locate a minimum of 2'-6" from face of curb in amenity zone. In medians pedestrian lights should be located 50'-0" on center staggered between pedestrian lights located in the amenity zone. All planted medians are to include waterproof receptacles on photocell for holiday lighting.

Street Trees: Locate shade trees 35'-0" on center and ornamental trees 25'-0" on center. Locate a minimum of 25'-0" from intersection in order to provide safe vehicular sight distance. Locate a minimum 2'-6" from face of curb in amenity zone. Locate trees in medians located in major arterials, minor arterials and major collectors that are 6'-0". Medians located in expressways must have 20'-0" clearance from edge of road to center of tree. Where 20'-0" clearance is provided locate trees in masses. A mass of trees consist of 3-8 trees grouped at approximately 10'-0" spacing.

Landscape Enhancements: In special focus areas provide enhanced, low maintenance landscaping such as shrubs, perennials and in tree lawn. In medians 6'-0"- 10'-0" or wider provide enhanced landscaping such as shrubs, perennials and annuals.

Sidewalks: Sidewalks shall be a minimum of 5'-0" of unobstructed walkway. Detached sidewalks should be set back a minimum of 6'-0" to allow for street trees and pedestrian lights between face of curb and back of walk.

Benches: Benches are City standard. Benches shall be placed at transit stops. Benches should be placed a minimum of 2'-6" from face of curb.

Trash Receptacles: Trash receptacles are city standard. Trash receptacles shall be placed at transit stops. Trash receptacles should be placed a minimum of 2'-6" from face of curb.

Bollards: Bollards should be located only in those areas where they are necessary to restrict vehicular traffic. Bollard spacing should be a minimum of 3'-6" and should comply with ADA requirements. Bollards shall be placed a minimum of 2'-6" from the face of curb.



Streetscape Guidelines for Kit of Parts for: Residential Continued

Special Paving: Special paving should occur in special focus areas. Materials like stone, brick or colored concrete should be utilized.

Screen walls/ Railings: Locate screen walls on expressways and major arterials to act as a buffer or screen between residences and traffic. Screen walls should complement adjacent architecture. Walls shall be designed to prevent skateboarders from riding on them.

Irrigated Landscape: In focus areas landscaping provided in median and tree lawns of expressways, major arterials, minor arterials and major collectors should be irrigated. All tree lawns planted with turf must be a minimum of 10'-0" to accommodate spray irrigation. All irrigation must be central control compatible.

Xeric Landscape: Landscaping in the medians and perimeters of expressways should utilize xeric landscaping. Designated medians on major arterials, minor arterials and major collectors should utilize xeric landscaping. Xeric landscaping will require of supplemental irrigation.

Earthwork: Locate earthwork mounds and depressions in the medians of expressways and on the perimeters where screening is required. A maximum slope of 6:1 is allowed for earthwork mounds in order to prevent mulch and irrigation run-off.

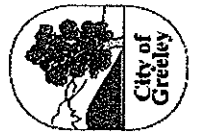
Monuments: Two scales of monuments have been developed. Large scale monuments shall be located at neighborhood or district boundaries or entries with small scale monuments at opportunity locations at bumpouts and medians.



Kit of Parts Matrix for: Residential

	Expressway	Major Arterial	Minor Arterial	Major Collector
Medians				
Street Lights	■	■ ■ ■ ■ ■	■ ■ ■ ■ ■	■ ■ ■ ■ ■
Pedestrian Lights				
Street Trees	■ ■ ● ●	■ ■ ■ ■ ● ● ● ●	■ ■ ■ ■ ● ● ● ●	■ ■ ■ ■ ● ● ● ●
Irrigated Landscape				
Xeric Landscape				
Bollards				
Planter Pots				
Enhanced Paving Material	●	●	●	
Earthwork				
Screen Walls/Railings				
Corners				
Street Lights	■	■ ●	■ ●	■ ●
Pedestrian Lights				
Street Trees				
Landscape Enhancement	●			
Sidewalks		■		■
Benches				
Bike Racks				
Trash Receptacles				
Bollards				
Planter Pots				
Special Paving		●	●	●
Screen Walls/Railings				
Perimeters				
Street Lights	■	■ ■ ■ ■ ■	■ ■ ■ ■ ■	■ ■ ■ ■ ■
Pedestrian Lights				
Street Trees				
Irrigated Landscape	● ● ●	● ● ●	● ● ●	● ● ●
Xeric Landscape				
Sidewalks				
Benches				
Bike Racks				
Trash Receptacles				
Bollards				
Planter Pots				
Special Paving				
Earthwork	● ■ ●	■ ■ ■	■ ■ ■	■ ■ ■
Street Furniture Associated w/Transit Stop				
Screen Walls/Railings				■

■ Recommended
● Where appropriate



Streetscape Guidelines for Kit of Parts for: Industrial

Street Lights: Locate on each corner at intersections and at standard spacing between intersections. Street lights should be staggered on each side of the street. Locate a minimum of 2'-6" from face of curb. In medians streetlights should be located at standard spacing staggered between streetlights located on the perimeter.

Pedestrian Lights: Pedestrian lights are City standard. Locate 50'-0" on center in areas that are heavily utilized by pedestrians. All planted medians are to include waterproof receptacles on photocell for holiday lighting.

Street Trees: Locate a minimum of 25'-0" from intersection in order to provide safe vehicular sight distance. Locate a minimum 2'-6" from face of curb. On the perimeter of expressways mass trees. Medians located in major arterials, minor arterials and major collectors that are 10'-0" or wider locate shade trees 35'-0" on center and ornamental trees 25'-0" on center. Medians located in expressways must have 20'-0" clearance from edge of road to center of tree. Where 20'-0" clearance is provided locate trees in masses. A mass of trees consist of 3-8 trees grouped at approximately 10'-0" spacing.

Landscape Enhancements: In special focus areas in medians and the perimeters provide enhanced, low maintenance landscaping such as shrubs and grasses. Medians must be 8'-0" or wider to provide enhanced landscaping.

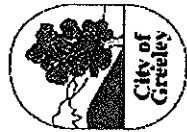
Sidewalks: Locate sidewalks in heavily trafficked pedestrian areas. Sidewalks shall be a minimum of 5'-0" of unobstructed walkway. Sidewalks located adjacent to expressways need to be detached set back a minimum of 25'-0" from face of curb.

Bollards: Bollards should be located only in those areas where they are necessary to restrict vehicular traffic. Bollard spacing should be a minimum of 3'-6" and should comply with ADA requirements. Bollards shall be placed a minimum of 2'-6" from the face of curb.

Special Paving: Special paving should occur in special focus areas. Materials like colored, brushed and smooth concrete should be utilized.

Screen walls/ Railings: Locate screen walls or hedges on expressways and major arterials to act as a buffer or screen to parking lots, trash dumpsters and other unsightly areas. Screen walls should complement adjacent architecture. Walls shall be designed to prevent skateboarders from riding on them.

Irrigated Landscape: Landscaping in heavily trafficked special focus areas shall be irrigated. All tree lawns planted with turf must be a minimum of 10'-0" to accommodate spray irrigation. All irrigation must be central control compatible.



Streetscape Guidelines for Kit of Parts for: Industrial Continued

Xeric Landscape: Landscaping in the medians and perimeters of expressways, major arterials, minor arterials and major collectors should utilize xeric landscaping, whenever possible. Xeric landscaping will require of supplemental irrigation.

Earthwork: Locate earthwork mounds and depressions in the medians of expressways, major arterials and minor collectors and on the perimeters where screening is required and space allows. A maximum slope of 6:1 is allowed for earthwork mounds in order to prevent mulch and irrigation run-off.

Monuments: Two scales of monuments have been developed. Large scale monuments shall be located at neighborhood or district boundaries or entries with small scale monuments at opportunity locations at bumpouts and medians.



Kit of Parts Matrix for: Industrial

	Expressway	Major Arterial	Minor Arterial	Major Collector
Medians				
Street Lights	■	■	■	
Pedestrian Lights				
Street Trees	■	■	■	
Irrigated Landscape	●	●	●	
Xeric Landscape	●	●	●	
Bollards	●	●	●	
Planter Pots				
Enhanced Paving Material	●	●	●	
Earthwork				
Screen Walls/Railings				
Corners				
Street Lights	■	■	■	■
Pedestrian Lights				
Street Trees				
Landscape Enhancement	●	●	●	●
Sidewalks				
Benches				
Bike Racks				
Trash Receptacles				
Bollards				
Planter Pots				
Special Paving				
Screen Walls/Railings				
Perimeters				
Street Lights	■	■	■	■
Pedestrian Lights				
Street Trees	■	■	■	■
Irrigated Landscape	●	●	●	●
Xeric Landscape	●	●	●	●
Sidewalks				
Benches				
Bike Racks				
Trash Receptacles				
Bollards				
Planter Pots				
Special Paving				
Earthwork	●	●	●	●
Street Furniture Associated w/Transit Stop	■	■	■	■
Screen Walls/Railings	●	●	●	●

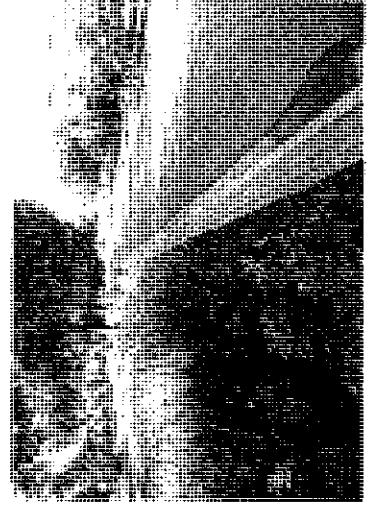
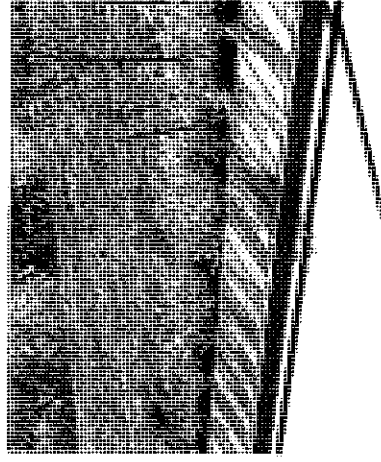
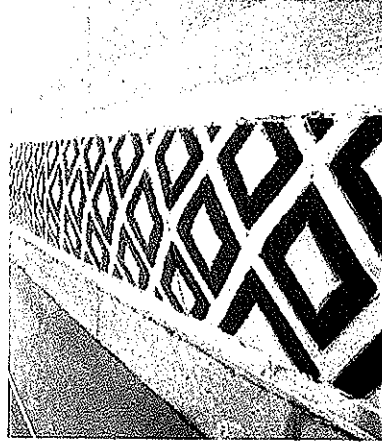
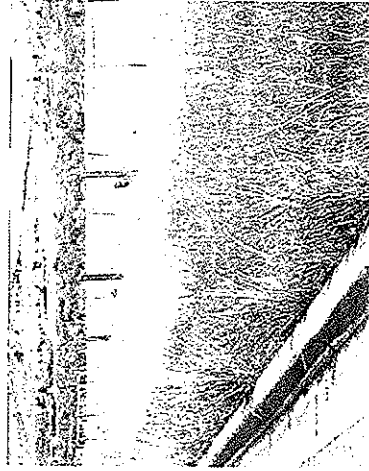
■ Recommended
● Where appropriate



General Concepts for Streetscape and Median Treatments

The general concepts were developed using the Kit of Parts matrix as their basis. Typical cross sections were developed for the Business, Commercial, Retail district, Residential district and Industrial district. The cross sections illustrate and dimension what occurs between the back of curb and R.O.W and in medians. These cross section standards along with three theme alternatives were applied in sketches to the three typical conditions (related to land use) within the City of Greeley.

The City of Greeley standard street lights, pedestrian lights, benches and trash receptacles will all be consistent elements in the three theme alternatives. Variation in the alternatives will occur with vegetation, paving and monuments.

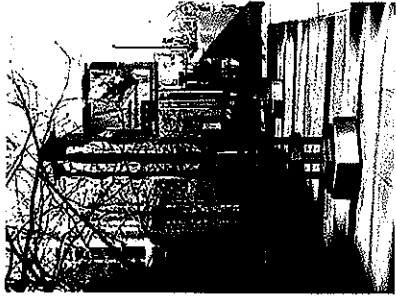


General Concepts



Wide sidewalk and accessible ramp provide comfortable access for pedestrians crossing the street. The median with plantings provides good visual interest.

- Major Arterial
- Minor Arterial
- Major Collector



Custom designed lighting and banners creates a unique identity for the street while serving a functional purpose.

- Minor Arterial
- Major Collector



Lights, street trees, banners, decorative clocks, hanging flower pots and awnings create a rhythm that contributes to a successful streetscape.

- Minor Arterial
- Major Collector



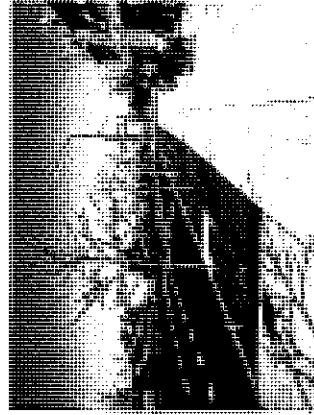
Repetitive pedestrian lighting creates interesting focal point.

- Major Arterial
- Minor Arterial
- Major Collector



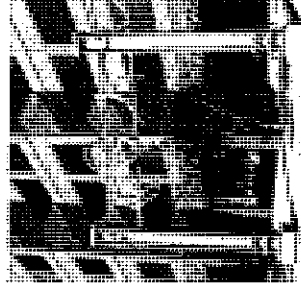
Bricks, street trees and civic fence create a good streetscape environment.

- Major Arterial
- Minor Arterial
- Major Collector



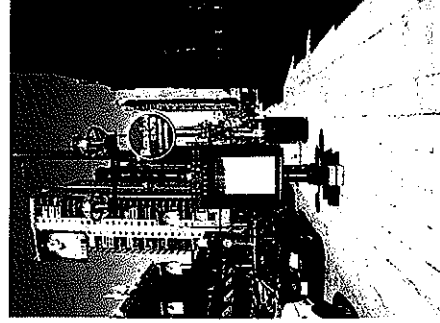
Wide sidewalk with tree lawn provides green space and separation between pedestrians and auto traffic.

- Major Arterial
- Minor Arterial



Gateway feature creates unique identity and sense of place.

- Major Arterial



10'-0" wide sidewalk provides a comfortable walking space for pedestrians with room for streetscape amenities such as lighting, hanging flower pots, trash receptacles benches and signage.

- Major Arterial
- Minor Arterial
- Major Collector



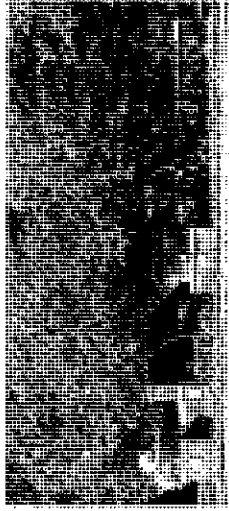
General Concepts: For Streetscape and Median Treatment



Detached sidewalk with tree lawn provides comfortable walking space for pedestrians.



Planter in median with pedestrian lighting and street trees.



Brick wall with planter provides entrance for residential neighborhood. When elements such as planters are repeated along the street it creates a unique identity for the corridor.



Elaborate plantings provide good visual interest in residential areas. Neighborhood associations can adopt segments of the road to maintain.



Quality materials used for median application.



Elaborate plantings provide good visual interest in residential areas.

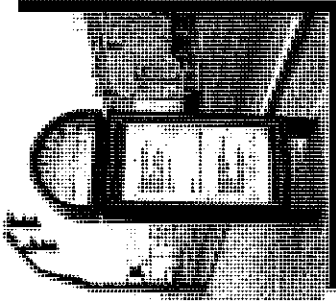


General Concepts for Street Scaping

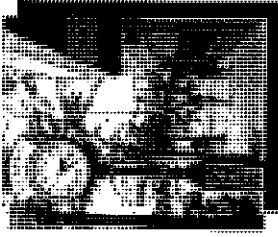
- Traditional Materials- flagstone or brick
- 8'-0" -10'-0" Sidewalk
- Trees spaced 35'-0" (shade trees) and 25'-0" (ornamental) on center in tree grates
- Pedestrian Lights- painted Greeley Green
- Traditional bench and trash receptacle- painted Greeley green
- Median plantings are ground cover or low maintenance plants
- Monuments, Gateways and potential areas for art



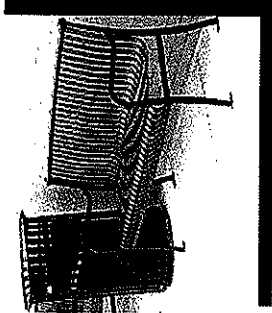
Stone Banding/
Splash Strip



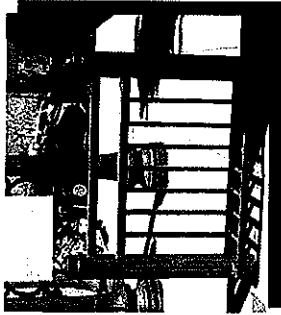
Signage/ Wayfinding



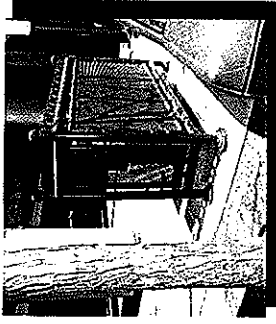
Decorative Clocks



Bench/ Trash
Receptacle



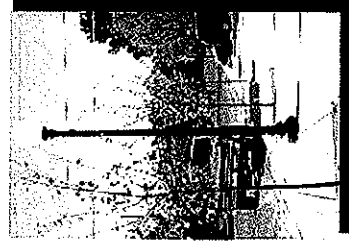
Decorative Fence



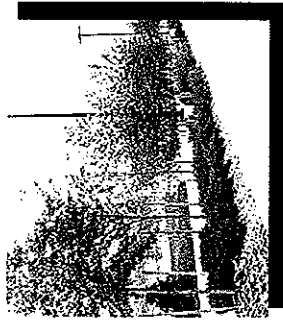
Attractive Screening



Concrete Pavers



Pedestrian Scale/
Theme Lighting



Median Planting

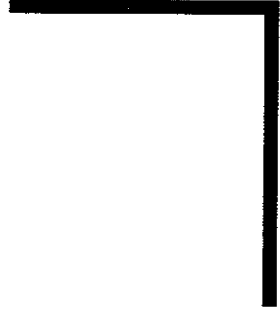


General Concepts for Street Scaping

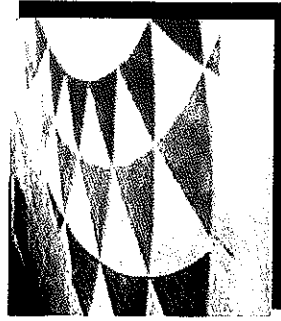
- Scored concrete
- 8'-0" - 10'-0" Sidewalk
- Trees spaced 35'-0" (shade) and 25'-0" (ornamental) on center in tree grates
- Pedestrian Lights- stainless steel
- Contemporary benches and trash receptacles- stainless steel
- Median plantings are geometric- ground cover or low maintenance plants
- Monuments, Gateways and potential areas for art



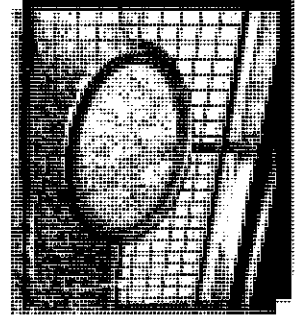
Street Trees with Benches



Concrete with Scoring



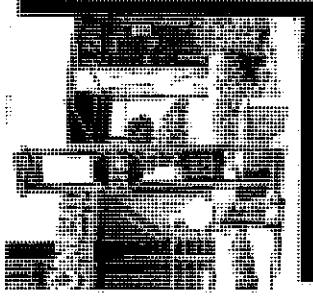
Stained Concrete



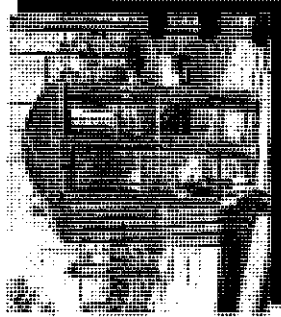
Decorative Fence



General Concepts for Street Scaping



Theme Wayfinding/
Stop Sign



Bus Shelter



Bollards

- Varying paving materials- vary per adjacent land use and character
- 8'-0"- 10'-0" Sidewalk
- Trees spaced 35'-0" (shade) and 25'-0" (ornamental) on center in tree grates
- Pedestrian light style will vary but color will stay consistent
- Benches and trash receptacles style will vary at transit stops- color will stay consistent
- Median plantings are geometric- ground cover or low maintenance plants
- Monuments, Gateways and potential areas for art



General Concepts for Street Scaping

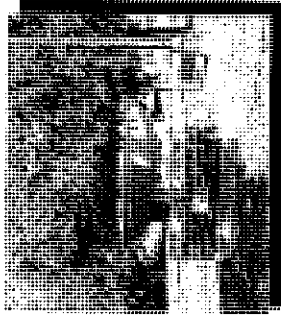
- Traditional Materials- flagstone or brick
- 5'-0" minimum detached sidewalk with 6'-0" to 10'-0" Tree lawn
- Trees spaced 35'-0" (shade) and 25'-0" (ornamental) on center
- Pedestrian Lights- painted "Greeley Green"
- Traditional bench and trash receptacle associated with transit stops- painted "Greeley Green"
- Medians utilize colorful perennials
- Entryway Features and walls



Brick Banding/
Splash Strip



Tree Lawn



Entryway Feature/
Monument



Entryway Feature/
Wall



Perennial Median
Planting

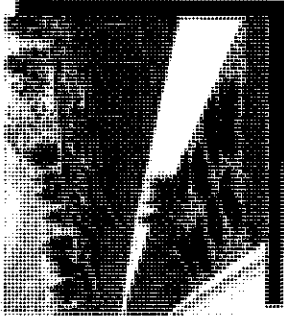


Entryway/ Focal
Planting

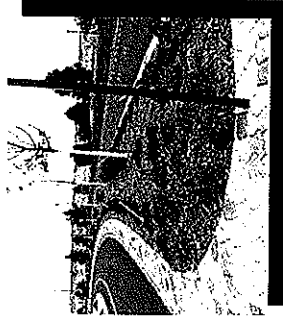


General Concepts for Street Scaping

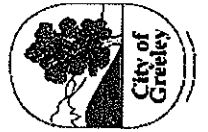
- Traditional Materials- flagstone or brick
- 5'-0" minimum detached sidewalk with 6'-0" to 10'-0" tree lawn or no sidewalk
- Pedestrian Lights- painted "Greeley Green"
- Traditional bench and trash receptacle associated with transit stops- painted "Greeley Green"
- Median plantings are xeric grasses, ground covers or wildflowers
- Monuments, Gateways and potential areas for art



Detached Sidewalk with Xeric Planting



Stamped concrete splash guard in median



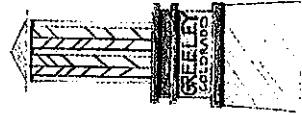
Monument Theme Alternatives

The following pages show a series of alternatives for monuments and medians. These varying alternatives can be applied to the theme alternatives depicted for Commercial, Business, Retail district, Residential district and Industrial district.

Primary Monuments



Example 1

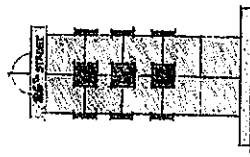


Example 2

Secondary Monuments



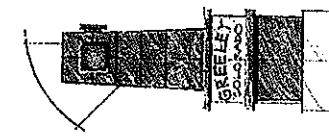
Example 1



Example 2



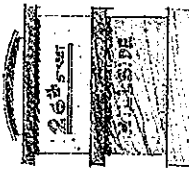
Example 3



Example 4



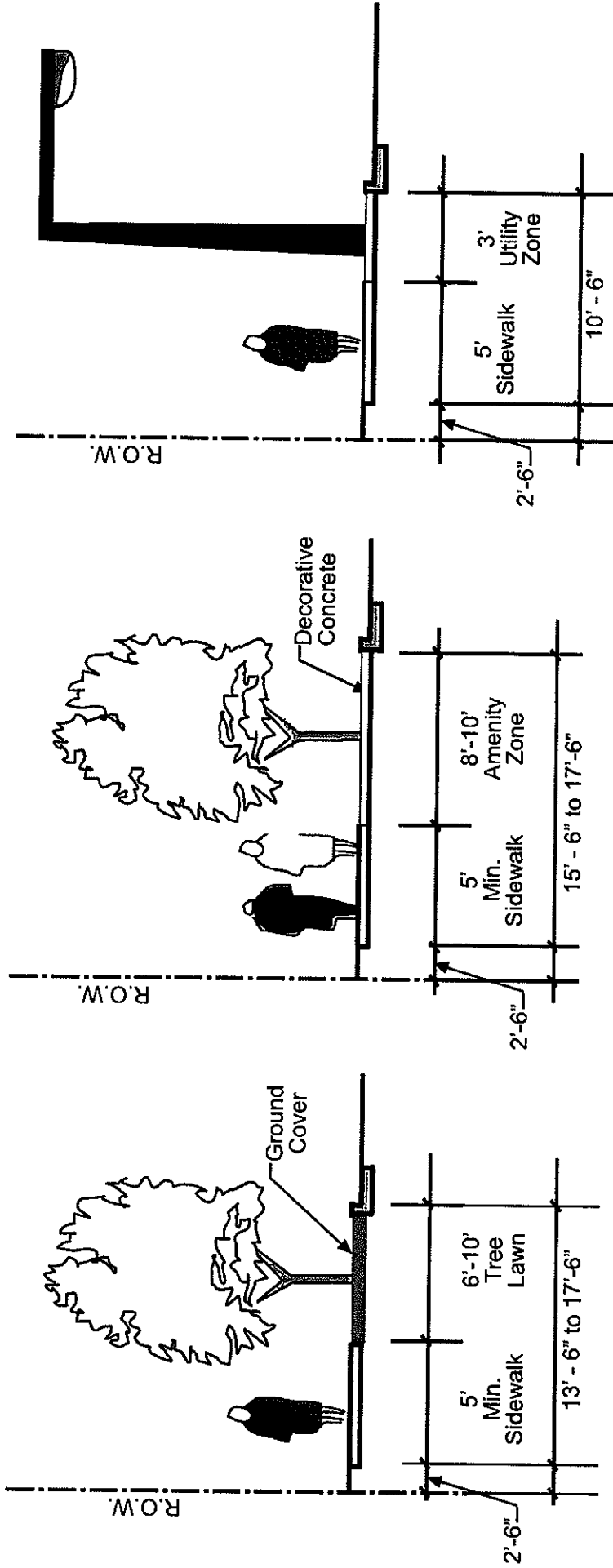
Example 3



Example 4



Typical Sidewalk Cross-section



Residential

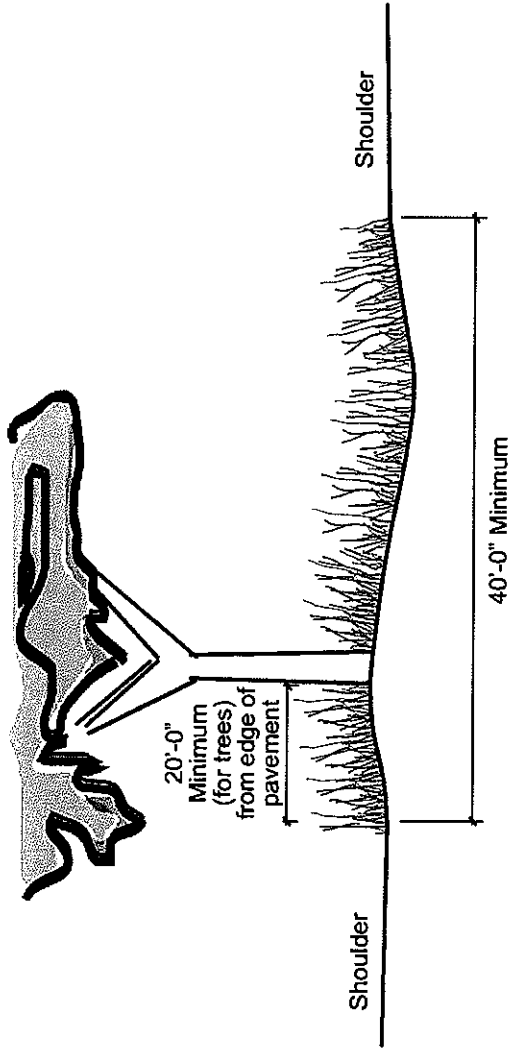
Commercial, Business, Retail

Limited Right-Of-Way,
Commercial, Business, Retail
Industrial

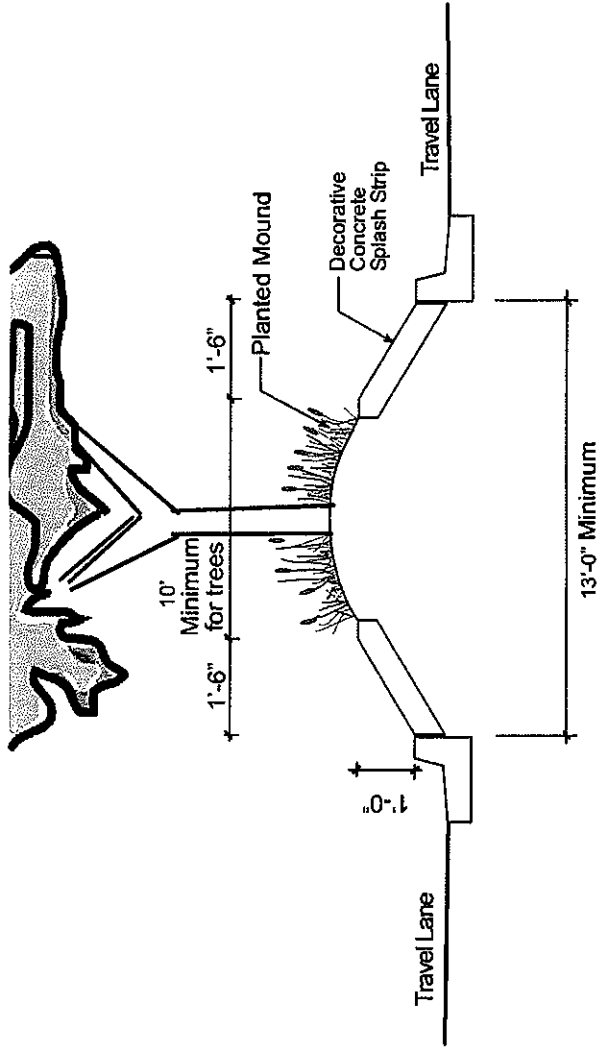
Note: Anything less than 10'-0" should have drip irrigation.
As spray irrigation would be difficult to contain.



Typical Median Cross-section



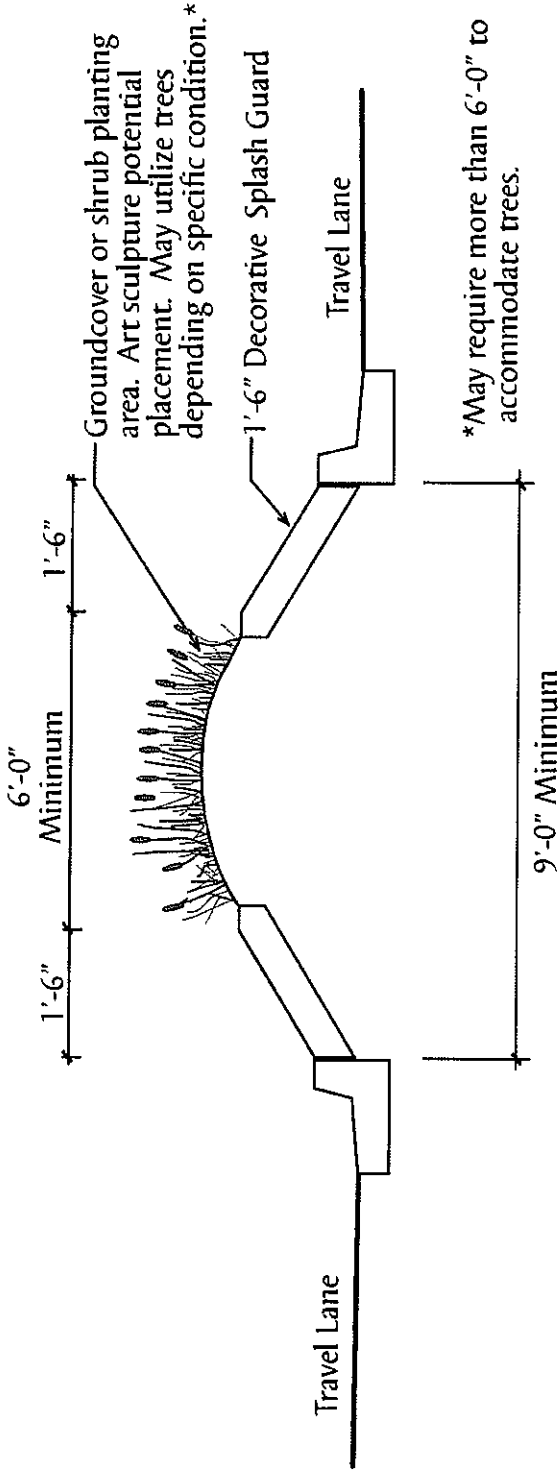
Expressway Cross-section



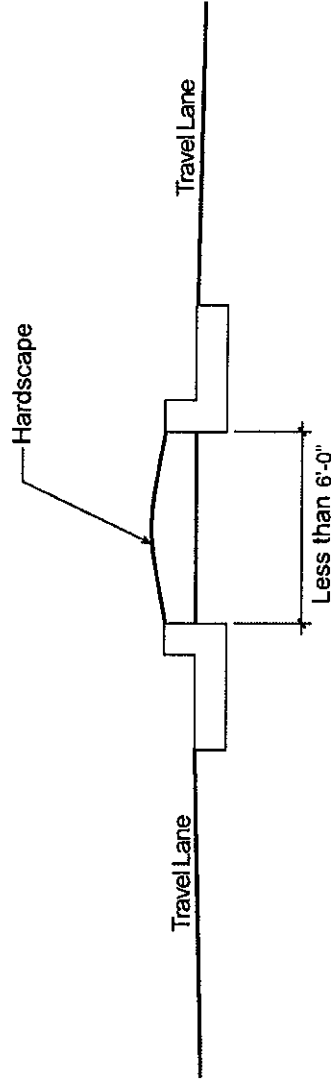
Major Arterial and Minor Arterial Cross-section



Typical Median Cross-section



Major Arterial and Minor Arterial Cross-section

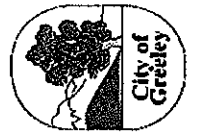
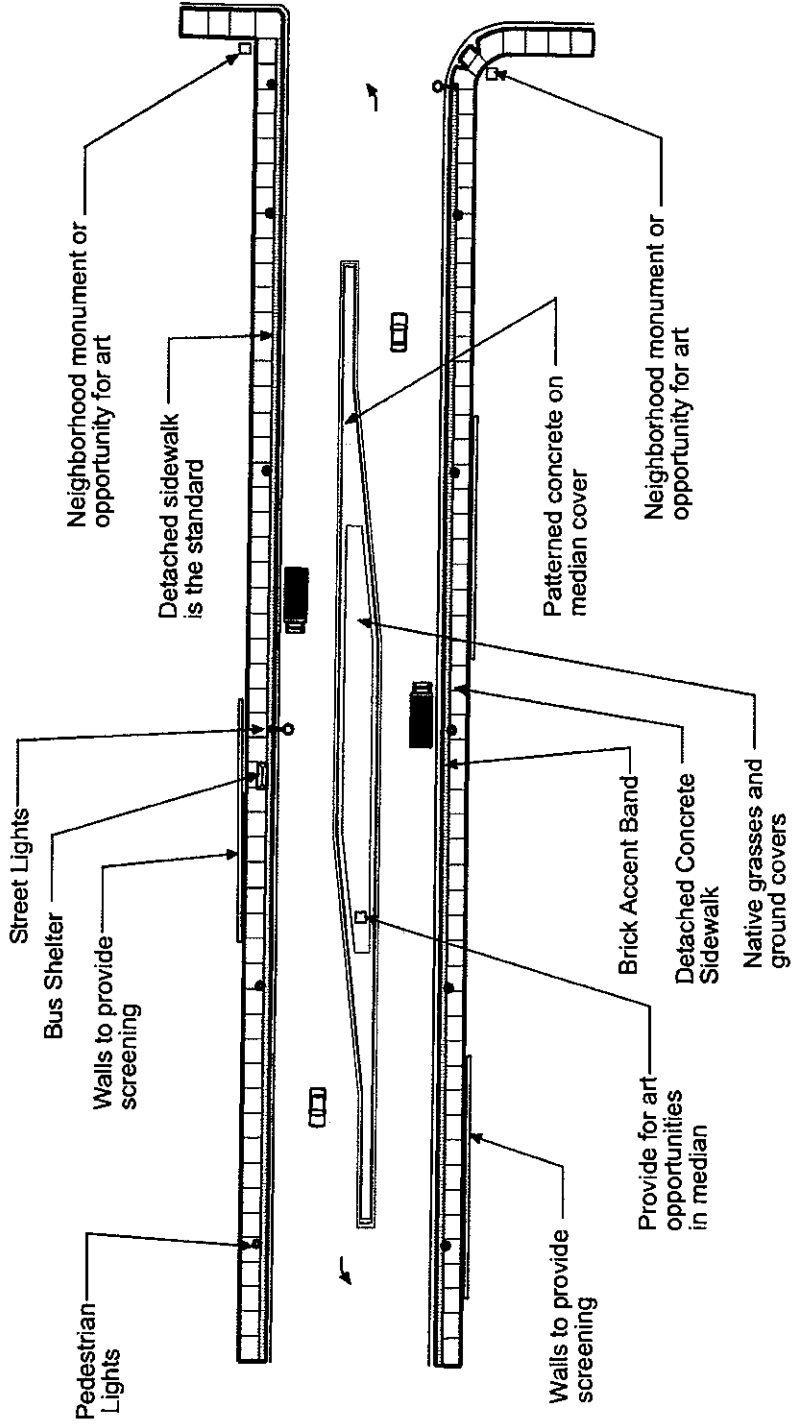


Commercial, Business, Retail Theme Alternative 1 Plan

(Medians between 9'-0" and 13'-0" in width)

Major Arterial

Commercial, Business, Retail Theme Alternative 1 is a xeric alternative with native grasses in the medians and a hardscape attached sidewalk on the perimeters. The xeric landscaping in the median will require irrigation to establish and provide for periodic supplemental watering xeric plant material. The hardscape on the perimeters is primarily concrete with a brick accent at the back of curb. Pedestrian lights will be spaced 50'-0" on center. Benches, bike racks and trash receptacles are to be located where people congregate and transit stations. Screening walls with art shall be utilized to act as a screen to unsightly land uses. Primary monuments are to be located at district boundaries and secondary monuments are to be located at opportune corners and bumpouts.

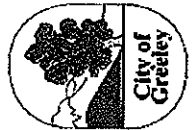
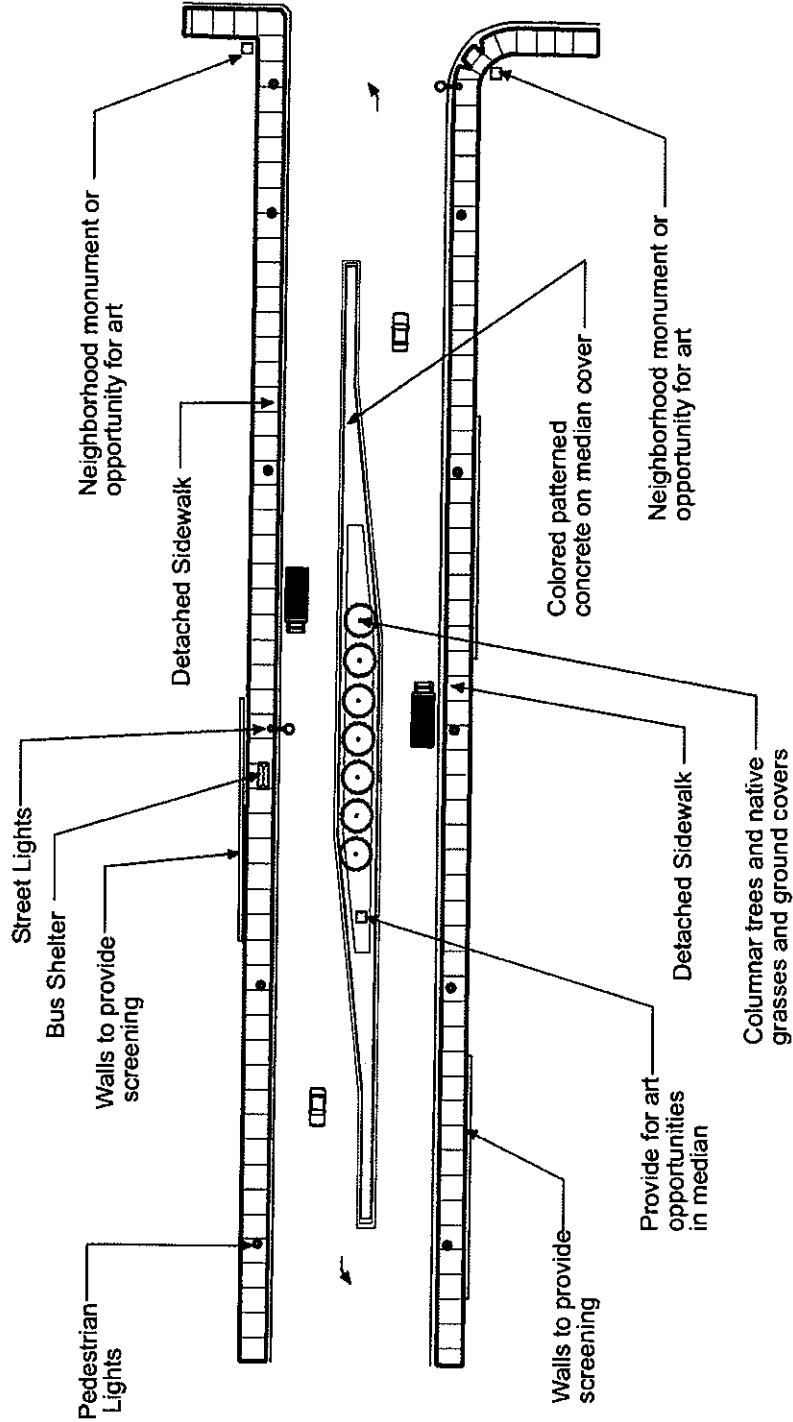


Commercial, Business, Retail Theme Alternative 1 Sketch (Medians between 9'-0" and 13'-0" in width) Major Arterial



Commercial, Business, Retail Theme Alternative 2 Plan (Medians 13'-0" and Greater) Major Arterial

Commercial, Business, Retail Theme Alternative 2 is a mixture of xeric and irrigated landscaping. The median will consist of native grasses and trees and hardscape concrete attached sidewalk on the perimeters. The xeric landscaping in the median will require irrigation for establishment and to provide for periodic supplemental waterings, xeric plant material and the trees will require a permanent drip line. The hardscape on the perimeters is decorative concrete. Pedestrian lights will be spaced 50'-0" on center. Benches, bike racks and trash receptacles are to be located where people congregate and at transit stations. Screening walls with art shall be utilized to act as a screen to unsightly land uses. Primary monuments are to be located at district boundaries and secondary monuments are to be located at opportune corners and bumpouts.



Commercial, Business, Retail Theme Alternative 2 Sketch (Medians 13'-0" and Greater) Major Arterial

